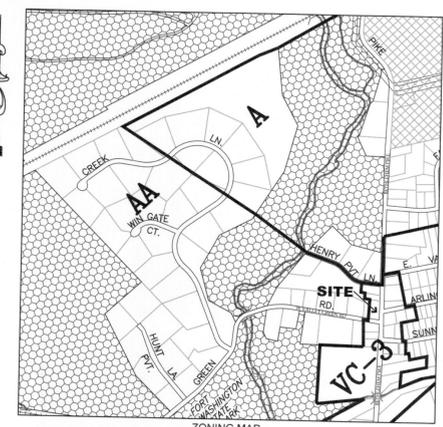


S84°31'00"E 11.84' (D) 78.21' (D) HENRY LN S87°5'00"E 116.77' (D)

ZONING	FRONT YARD SETBACK (F.T.)	SIDE/REAR YARD SETBACKS (F.T.)	MAX. BLDG. FOOTPRINT (SQ.FT.)	MAX. BLDG. HEIGHT (F.T.)	FRONT FACED WIDTH (F.T.)	MAXIMUM BUILDING COVERAGE	MAXIMUM IMPERVIOUS COVERAGE
VC-3	MIN. 50%/MAX. 90% BLDG. FACADE AT 10 FT. REMAINING FACED SETBACK FURTHER	ADJ. TO RESIDENTIAL PROPERTY: MIN. 25 FT. ALL OTHER CASES: MIN. 5 FT.	6,000	3 STORIES/ 42 FT.	75	30%	65%



LOCATION MAP
SCALE: 1" = 800'

DESCRIPTION	EXISTING	NEW	TOWNSHIP	ALLOWABLE
GROSS LOT AREA:	32,772 SQ.FT.	32,772 SQ.FT.		
NET LOT AREA:	28,999 SQ.FT.	28,999 SQ.FT.		
BUILDING COVERAGE:	4.1% (1,189 SQ.FT.)	12.93% (3,750 SQ.FT.)	0.0% (0.0 SQ.FT.)	30% (8,688 SQ.FT.)
OTHER IMPERVIOUS COVERAGE:	64.7% (18,771 SQ.FT.)	50.19% (14,556 SQ.FT.)	0.30% (86 SQ.FT.)	
TOTAL IMPERVIOUS COVERAGE:	68.8% (19,960 SQ.FT.)	65.0% (18,823 SQ.FT.)	0.30% (86 SQ.FT.)	65% (18,823 SQ.FT.)

NOTES:
-THE INTENT OF THIS DRAWING IS TO ILLUSTRATE THE EXISTING CONDITIONS ON THE DATE OF THE ENGINEERING SURVEY (JULY 30, 2015), AND ANY PROPOSED MODIFICATIONS THE ENGINEER HAS NOT BEEN RETAINED TO VERIFY THAT THESE PLANS ARE IN CONFORMANCE WITH LOCAL BUILDING CODES OR CONSTRUCTION INDUSTRY STANDARDS. THE OWNER/CONTRACTOR(S) SHALL BE RESPONSIBLE TO VERIFY THAT ITS WORK IS IN CONFORMANCE WITH LOCAL CODES AND STANDARDS.
-UTILITY LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE (V.I.F.).
-SITE ELEVATIONS WERE DETERMINED USING A BENCHMARK ELEVATION OF 104.2, THE RIM ELEVATION OF THE SEWER MANHOLE LOCATED AT THE INTERSECTION OF BETHLEHEM PIKE AND ARLINGHAM ROAD, AS PROVIDED BY THE WHITEMARSH TOWNSHIP AUTHORITY.

01-0 GENERAL REQUIREMENTS
1. THE CONTRACTOR SHOULD VERIFY THAT ALL OF ITS WORK SHALL CONFORM WITH ALL LOCAL, COMMONWEALTH, FEDERAL REGULATIONS, AND INDUSTRY STANDARDS.
2. ALTA DESIGN ASSOCIATES, INC. (ENGINEER) IS NOT RESPONSIBLE FOR SUPERVISION AND HAS NOT BEEN RETAINED BY OWNER/CONTRACTOR FOR OBSERVATION OF THIS PROJECT. THE ENGINEER IS NOT RESPONSIBLE FOR ANY DEVIATION FROM THE PLANS AND SPECIFICATIONS. THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR ALL "SPECIAL INSPECTIONS" FOR THIS PROJECT, IF REQUIRED BY THE TOWNSHIP.
3. THE OWNER/CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK OF THE PROJECT. THE OWNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE PROJECT. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE LAYOUT, GRADING, DRAINAGE, AND DIMENSIONS. IF ALTA DESIGN ASSOCIATES, INC. IS NOT RETAINED TO DESIGN AND APPROVE CONSTRUCTION WHILE IT IS ONGOING, IT SHALL NOT BE RESPONSIBLE FOR ANY NON-COMFORMANCE WITH ITS DESIGN, BUILDING CODES, OR INDUSTRY STANDARDS.
4. ALL CONSTRUCTION, INCLUDING SOIL EROSION AND SEDIMENTATION MEASURES, DRAINAGE, GENERAL CONSTRUCTION, ETC., MATERIALS AND INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH LOCAL, COMMONWEALTH, AND FEDERAL BUILDING CODES AND REGULATING AGENCIES (IE: RC/BC, OSHA, ANS/NSI).
5. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING STRUCTURES, UTILITIES, AND OTHER SURFACE/SUBSURFACE FEATURES FROM DAMAGE, CRACKING, AND SETTLEMENT.
6. THE INTENT OF THIS DRAWING IS TO PROVIDE ENGINEERING FIELD SURVEY INFORMATION, TOPOGRAPHIC, AND DRAINAGE INFORMATION FOR THE NEW CONSTRUCTION. ALTA DESIGN ASSOCIATES, INC. HAS NOT BEEN RETAINED FOR THE STRUCTURAL, GEOTECHNICAL, MECHANICAL, ELECTRICAL, OR ANY OTHER DESIGN ASPECT OF THIS PROJECT NOT SPECIFICALLY IDENTIFIED.

02-0 SITE WORK
1. ALL FINISH GRADES SHALL BE SET IN THE FIELD BY OWNER/CONTRACTOR AT MINIMUM SLOPE OF 1/4 INCH PER FOOT AWAY FROM ALL STRUCTURES, UNLESS NOTED OTHERWISE.
2. POSITIVE DRAINAGE SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION.
3. IF WARRANTED, THE CONTRACTOR SHALL MAINTAIN SLUMPS AND PUMPS DURING CONSTRUCTION.
4. OSHA SAFETY REGULATIONS SHALL BE FOLLOWED FOR ALL OPEN EXCAVATIONS, AND OTHER WORK IN PROGRESS, AND TREE PROTECTION FENCING. TEMPORARY FENCING SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
5. UTILITY LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS, PRIOR TO EXCAVATION.
6. ALL FILL SOILS UNDER STRUCTURES (STRUCTURAL FILL) SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY (ASTM D1557).
7. ALL FILL SOILS UNDER NON-STRUCTURAL CONCRETE SLABS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY (ASTM D1557).
8. ALL FILL SOILS UNDER LANDSCAPING SHALL BE COMPACTED TO A MINIMUM OF 92% OF THE MAXIMUM DRY DENSITY (ASTM D1557).
9. TREE ICONS SHOWN SHOULD BE CONSIDERED SYMBOLIC, AND MAY NOT REPRESENT ACTUAL TREE LOCATIONS IN THE FIELD. THE CONTRACTOR SHOULD VERIFY THAT TREE LOCATIONS ARE IN CONFORMANCE WITH REQUIREMENTS OF THE TOWNSHIP ARBORIST.

TOWNSHIP NOTES
1. THE PERMANENT REMOVAL OF TOPSOIL FROM LAND WITHIN THE TOWNSHIP OF WHITEMARSH IS PROHIBITED. CAUSING SUCH SEDIMENTATION TO REMOVE IT FROM ALL AFFECTED SURFACES, DRAINAGE SYSTEMS AND WATERCOURSES, ON-SITE AND OFF-SITE, AND TO REPAIR ANY DAMAGE AT ITS EXPENSE IMMEDIATELY.
2. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE OR ALTER ANY EXISTING STORMWATER BMP, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP ENGINEER.
3. NO CHANGES SHALL BE MADE IN THE CONTOUR OF THE LAND AND NO GRADING, EXCAVATION, REMOVAL NOR DESTRUCTION OF THE TOPSOIL, TREES OR VEGETATIVE COVER SHALL BE COMMENCED, UNTIL SUCH TIME THAT A PLAN FOR MINIMIZING EROSION AND SEDIMENTATION HAS BEEN REVIEWED BY THE TOWNSHIP ENGINEER.
4. ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO ANY EARTH DISTURBANCE ACTIVITY.
5. MEASURES SHALL BE TAKEN TO MINIMIZE/MITIGATE DUST DURING ALL EARTH DISTURBANCE ACTIVITIES. SUCH MEASURES INCLUDE WETTING THE SOILS BEING DISTURBED.

LEGEND

- PROPERTY LINE
- RIGHT OF WAY, EASEMENT, OR SETBACK
- GROUND SURFACE CONTOUR
- UTILITIES
- E/N ELEC. LINE
- E/N GAS LINE
- E/N SEWER LINE
- E/N WATER LINE
- DRAINAGE AREAS
- DOWNSPOUT
- TREE
- VALLEY GREEN PERMANENT EASEMENT THROUGH BLOCK 53 UNIT 80 (SEE REFERENCES)
- CLOSED DEPRESSION
- GROUND SURFACE CONTOUR
- DRAINAGE PATTERN
- TEMP. SILT FENCE
- TEMP. SAFETY/TREE PROTECTION FENCE
- L.O.D. (LIMITS OF DISTURBANCE)

NOTES:
(E) = EXISTING
(N) = NEW
(DE) = DEMOLISH EXISTING
(RE) = REUSE EXISTING
F.Y. = FRONT YARD
R.Y. = REAR YARD
S.Y. = SIDE YARD
T.O.C. = TOP OF CURB
B.O.C. = BOTTOM OF CURB
C.O. = EDGE OF PAVEMENT
C.C. = COMMUNICATIONS
CONC. = CONCRETE
EL. = ELEVATION
ELEC. = ELECTRIC
E.O.P. = EDGE OF PAVEMENT
F.F.E. = FINISH FLOOR ELEVATION
F.H. = FIRE HYDRANT
F.N.D. = FOUND
G.V. = GAS VALVE
I.N.V. = INVERT
I.P. = IRON PIN/PIPE
L.P. = LIGHT POLE
L.O.D. = LIMITS OF DISTURBANCE
M.H. = MANHOLE
R.O.W. = RIGHT OF WAY
T.Y.P. = UTILITY POLE
V.I.F. = VERIFY IN FIELD
W.M. = WATER MAIN
W.V. = WATER VALVE
S.D. = STANDING DEADWOOD
D.C. = DEPRESSED CURB



REV	DATE	COMMENT
0	FEB. 4, 2016	COND. USE APP.
1	MARCH 17, 2016	PARKING STUDY
2	MAY 20, 2016	STORMWATER

DRAWING TITLE:
SITE PLAN

PROJECT:
735 BETHLEHEM PIKE
NORTHWEST CORNER OF BETHLEHEM PIKE & VALLEY GREEN ROAD
WHITEMARSH TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

FOR:
MR. FRANK J. MASTRONI, JR.
512 MADISON AVENUE, FORT WASHINGTON, PA 19034

alta design
948 MATSONFORD ROAD,
WEST CONSHOHOCKEN, PA 19428
PH: 610.825.1488 FX: 215.701.5500
P.O. BOX 521, FORT WASHINGTON, PA 19034
PH: 215.623.0705 FX: 215.701.5500

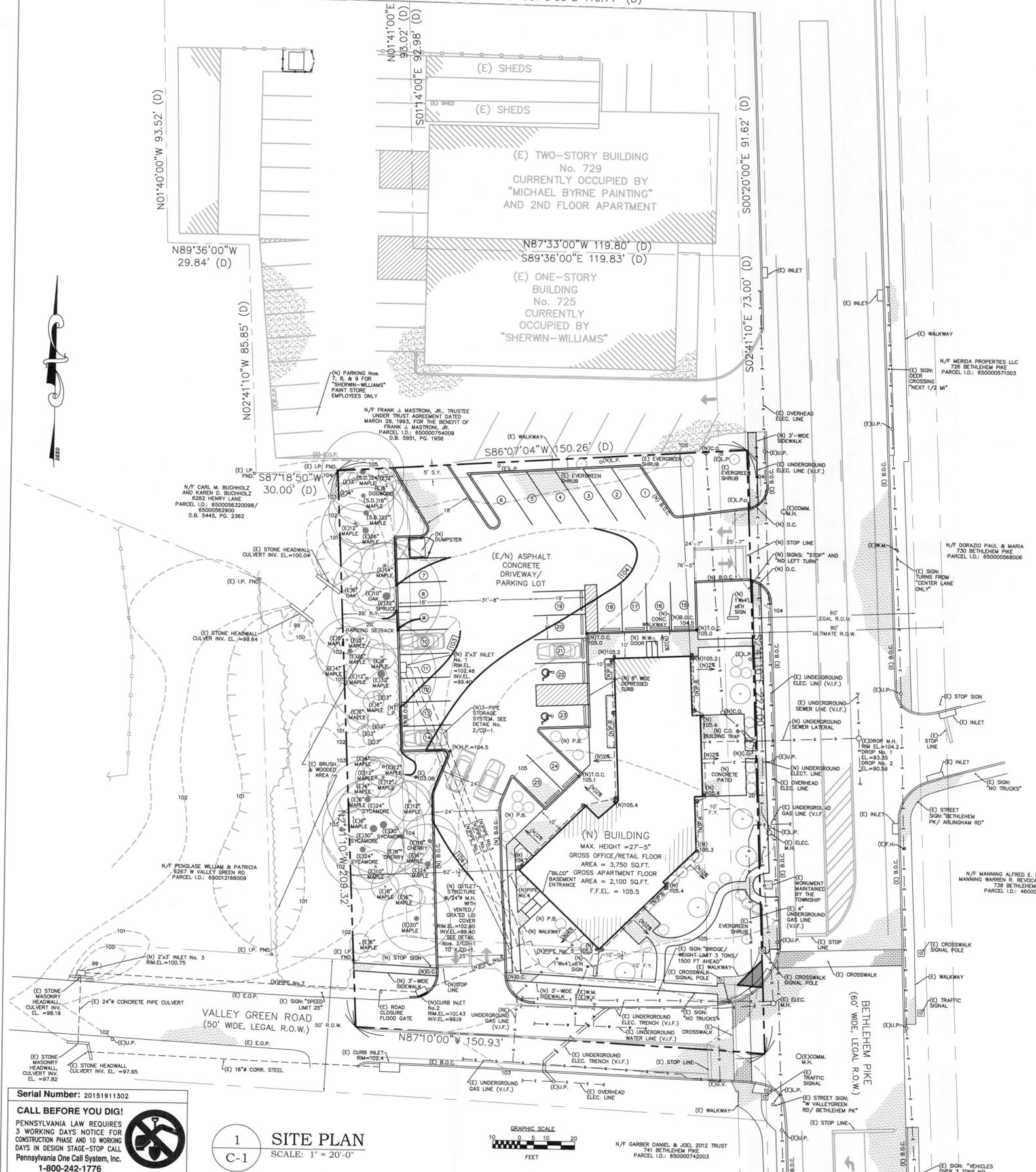
SCALE:
AS NOTED

DATE	AVK	CLB	TMB
FEB. 4, 2016			

DRAWING: C-1
REVISION: 2

TIMOTHY M. BROUSE, P.E.
PENNSYLVANIA PROFESSIONAL ENGINEER # 031296-E

1515-01



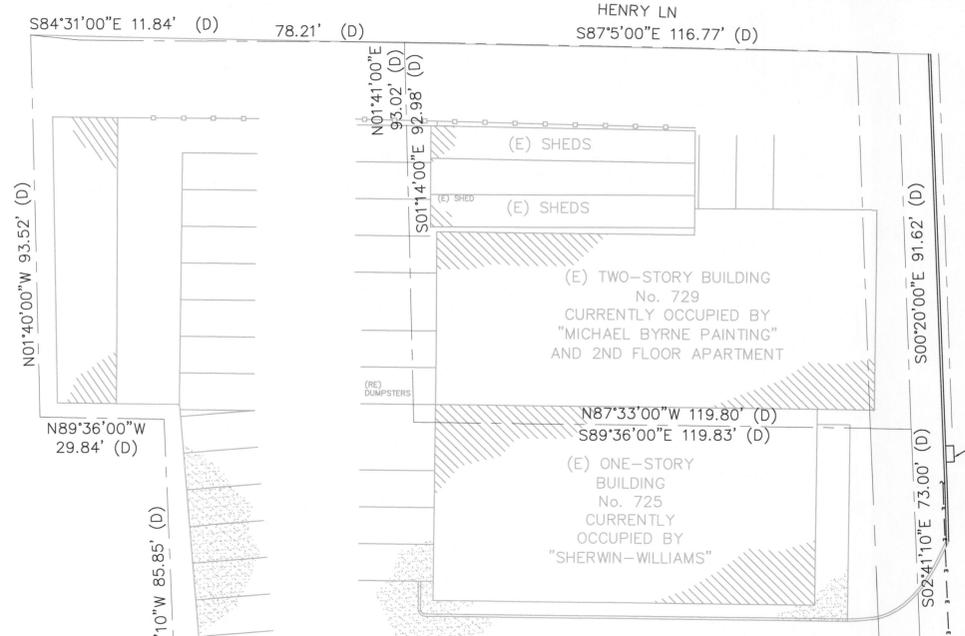
Serial Number: 20151911302
CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

1 SITE PLAN
SCALE: 1" = 20'-0"



N/F GARBER DANIEL & JOEL 2012 TRUST
741 BETHLEHEM PIKE
PARCEL I.D.: 850000742003

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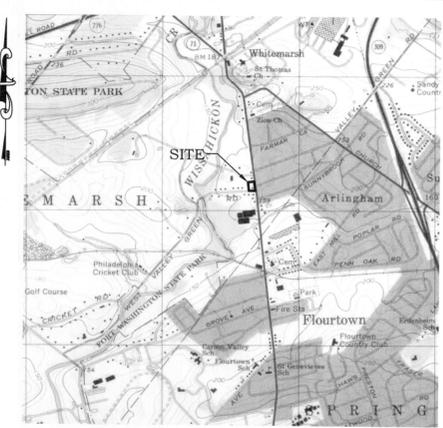
ZONING REQUIREMENTS FOR VILLAGE COMMERCIAL DISTRICT (VC-3)

ZONING	FRONT YARD SETBACK (FT.)	SIDE/REAR YARD SETBACKS (FT.)	MAX. BLDG. FOOTPRINT (SQ.FT.)	MAX. BLDG. HEIGHT (FT.)	MAX. BLDG. FRONT FACADE WIDTH (FT.)	MAXIMUM BUILDING COVERAGE	MAXIMUM IMPERVIOUS COVERAGE
VC-3	MIN. 50%/MAX. 90% BLDG. FACADE AT 10 FT. REMAINING FACADE SETBACK FURTHER	ADJ. TO RESIDENTIAL PROPERTY: MIN. 25 FT. ALL OTHER CASES: MIN. 5 FT.	6,000	3 STORIES/42 FT.	75	30%	65%

SITE COVERAGE DATA:

DESCRIPTION	EXISTING	TOWNSHIP	ALLOWABLE
USE	COMMERCIAL		
GROSS LOT AREA:	32,772 SQ.FT.		
NET LOT AREA:	28,999 SQ.FT.		
BUILDING COVERAGE:	4.1% (1,189 SQ.FT.)	0.0% (0.0 SQ.FT.)	30% (8,688 SQ.FT.)
-BUILDING:	1,111 SQ.FT.	0 SQ.FT.	
-WALK-IN FREEZER:	78 SQ.FT.	0 SQ.FT.	
OTHER IMPERVIOUS COVERAGE:	64.7% (18,771 SQ.FT.)	0.30% (86 SQ.FT.)	
-DRIVEWAY/PARKING LOT:	18,476 SQ.FT.	0 SQ.FT.	
-WALKWAYS:	121 SQ.FT.	47 SQ.FT.	
-BASEMENT EXCESS:	0 SQ.FT.	0 SQ.FT.	
-CONC. PAD:	174 SQ.FT.	0 SQ.FT.	
-MONUMENT SIGNS:	0 SQ.FT.	0 SQ.FT.	
-TRAFFIC SIGNALS:	0 SQ.FT.	39 SQ.FT.	
FUTURE IMPERVIOUS:	0 SQ.FT.	0 SQ.FT.	
-FIELD REVISIONS:	0 SQ.FT.	0 SQ.FT.	

NOTES:
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 -SITE ELEVATIONS WERE DETERMINED USING A BENCHMARK ELEVATION OF 104.2, THE RIM ELEVATION OF THE SEWER MANHOLE LOCATED AT THE INTERSECTION OF BETHLEHEM PIKE AND ARLINGHAM ROAD, AS PROVIDED BY THE WHITEMARSH TOWNSHIP AUTHORITY.



UNITED STATES DEPARTMENT OF THE INTERIOR GEOLOGICAL SURVEY
 1997 GERMANTOWN, PENNSYLVANIA
 7.5 MINUTE SERIES (TOPOGRAPHIC)

A LOCATION MAP
 C-2 SCALE: 1" = 24,000', 10' CONTOURS

RIGHT-OF-WAY SOURCES:
 LEGAL RIGHT-OF-WAY INFORMATION WAS OBTAINED FROM THE DEED ON RECORD WITH MONTGOMERY COUNTY.
 THE ULTIMATE RIGHT-OF-WAY INFORMATION FOR BETHLEHEM PIKE WAS PROVIDED BY MR. CHARLES GUTTENPLAN, ZONING OFFICER OF WHITEMARSH TOWNSHIP, IN AN EMAIL TO ALTA DESIGN'S MS. CYNTHIA BAXNDINE, ON OCTOBER 1, 2015.

SOIL INFORMATION:
 U_gB: URBAN LAND, 0 TO 8 PERCENT SLOPES
 PARENT MATERIAL: PAVEMENT, BUILDINGS, AND OTHER ARTIFICIALLY COVERED AREAS HUMAN TRANSPORTED MATERIAL
 LAND CAPABILITY CLASSIFICATION (IRRIGATED): NON SPECIFIED
 LAND CAPABILITY CLASSIFICATION (NONIRRIGATED): 8S

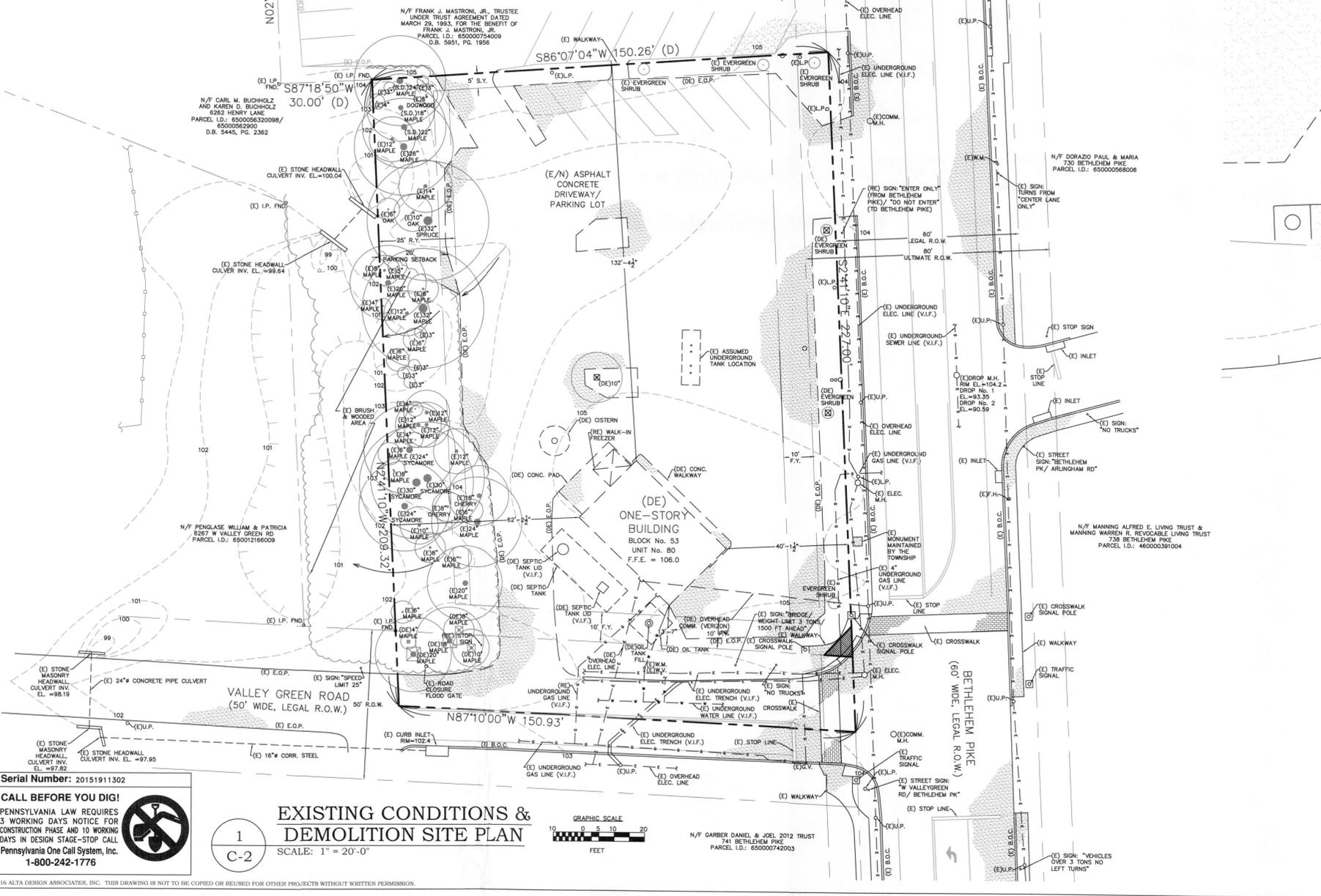
SITE GEOLOGY:
 C: LEDGER FORMATION
 DESCRIPTION: LIGHT-GRAY, LOCALLY MOTTLED, MASSIVE, PURE, COARSELY CRYSTALLINE DOLOMITE; SLICEOUS IN MIDDLE PART; BEDS WEATHER TO RUST-STAINED, GRANULAR, CHERTY LAYERS; APPROXIMATELY 2,000 FEET THICK.

REFERENCES:
 "SIDEWALK EASEMENT AGREEMENT" BETWEEN THE BOARD OF SUPERVISORS OF WHITEMARSH TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA (THE "TOWNSHIP"), AND FRANK J. MASTRONI (THE "GRANTOR") INCLUDING PLAN ENTITLED "VALLEY GREEN PERMANENT EASEMENT THROUGH BLOCK 53, UNIT 80", PREPARED BY SPRINGFIELD ABSTRACT, INC. DATED JANUARY 23, 2008
 MASTRONI (THE "GRANTOR") INCLUDING PLAN ENTITLED "VALLEY GREEN PERMANENT EASEMENT THROUGH BLOCK 53, UNIT 80", PREPARED BY GILMORE & ASSOCIATES, INC. DATED JUNE 21, 2007

2 PARTIAL SITE PLAN
 C-2 SCALE: 1/4" = 1'-0"

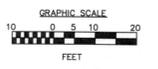
NOTES:
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 (N) = NEW
 (DE) = DEMOLISH EXISTING
 (RE) = REUSE EXISTING
 F.Y. = FRONT YARD
 R.Y. = REAR YARD
 S.Y. = SIDE YARD
 T.O.C. = TOP OF CURB
 B.O.C. = BOTTOM OF CURB
 C.O. = CLEAN OUT
 COMM. = COMMUNICATIONS
 CONC. = CONCRETE
 EL. = ELEVATION
 ELEC. = ELECTRIC
 E.O.P. = EDGE OF PAVEMENT
 F.F.E. = FINISH FLOOR ELEVATION
 F.H. = FIRE HYDRANT
 FND. = FOUND
 G.V. = GAS VALVE
 INV. = INVERT
 I.P. = IRON PIN/PIPE
 L.P. = LIGHT POST
 L.O.D. = LIMITS OF DISTURBANCE
 M.H. = MANHOLE
 R.O.W. = RIGHT OF WAY
 TYP. = TYPICAL
 U.P. = UTILITY POLE
 V.I. = VERIFY IN FIELD
 W.M. = WATER METER
 W.V. = WATER VALVE
 S.D. = STANDING DEADWOOD
 D.C. = DEPRESSURE CURB

LEGEND:
 - - - - - PROPERTY LINE
 - - - - - (E) RIGHT OF WAY, EASEMENT, OR SETBACK
 - - - - - (E) GROUND SURFACE CONTOUR
 - - - - - (E/N) UTILITIES
 - - - - - (E/N) ELEC. LINE
 - - - - - (E/N) GAS LINE
 - - - - - (E/N) SEWER LINE
 - - - - - (E/N) WATER LINE
 - - - - - (N) DRAINAGE AREAS
 - - - - - (N) DITCH/SPROUT
 (DE) TREE
 VALLEY GREEN PERMANENT EASEMENT THROUGH BLOCK 53 UNIT 80 (SEE REFERENCES)
 (E) CLOSED DEPRESSION



Serial Number: 20151911302
CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

1 EXISTING CONDITIONS & DEMOLITION SITE PLAN
 C-2 SCALE: 1" = 20'-0"



N/F GARBER DANIEL & JOEL 2012 TRUST
 741 BETHLEHEM PIKE
 PARCEL ID.: 650000742003

PARCEL INFORMATION:
 FRANK J. MASTRONI JR.
 735 BETHLEHEM PIKE, WHITEMARSH TOWNSHIP,
 MONTGOMERY COUNTY, PENNSYLVANIA
 PARCEL ID. No.: 65-00-00745-00-9
 BLOCK No. 53, UNIT No. 80
 DEED BOOK 4723, PAGE 0301

OWNER INFORMATION:
 MR. FRANK J. MASTRONI, JR.
 512 MADISON AVENUE
 FORT WASHINGTON, PA 19034

REV	DATE	COMMENT
0	FEB. 4, 2016	COND. USE APP.
1	MARCH 17, 2016	PARKING STUDY
2	MAY 20, 2016	STORMWATER

DRAWING TITLE:
EXISTING CONDITIONS & DEMOLITION SITE PLAN

PROJECT:
 735 BETHLEHEM PIKE
 NORTHWEST CORNER OF BETHLEHEM PIKE & VALLEY GREEN ROAD
 WHITEMARSH TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

FOR:
MR. FRANK J. MASTRONI, JR.
 512 MADISON AVENUE, FORT WASHINGTON, PA 19034

alta design
 948 MATSONFORD ROAD,
 WEST CONSHOHOCKEN, PA 19428
 PH: 610.825.1485 FX: 215.701.5500
 P.O. BOX 521, FORT WASHINGTON, PA 19034
 PH: 215.643.0755 FX: 215.701.5500

SCALE:
 AS NOTED

DATE	AVK	CLB	TMB
FEB. 4, 2016			

DRAWING REVISION:
C-2 **2**

FILE:
 1515-01