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- PROPOSED IMPROVEMENTS MAY REQUIRE THE CONSTRUCTION OF NEW RETAINING WALLS AND RELOCATION OF EXISTING UTILITY LINES, STORM DRAINAGE FACILITIES AND/OR UTILITY EASEMENTS.

**OVERALL SITE SUMMARY**

EXISTING SUMMARY	
TOTAL EXISTING BUILDING AREA	67,476 SF*
TOTAL EXISTING PARKING	385 SPACES
EXISTING PARKING RATIO	5.71 SP. / 1,000 SF
PROPOSED SUMMARY	
PROPOSED BUILDING AREA	11,380 SF
TOTAL PROPOSED BUILDING AREA	78,856 SF
TOTAL PROPOSED PARKING	362 SPACES
PROPOSED PARKING RATIO	4.59 SP. / 1,000 SF
*BUILDING AND TENANT AREA SHOWN ON THIS PLAN IS TAKEN FROM A LEASING PLAN AS PROVIDED BY BRIMOR.	

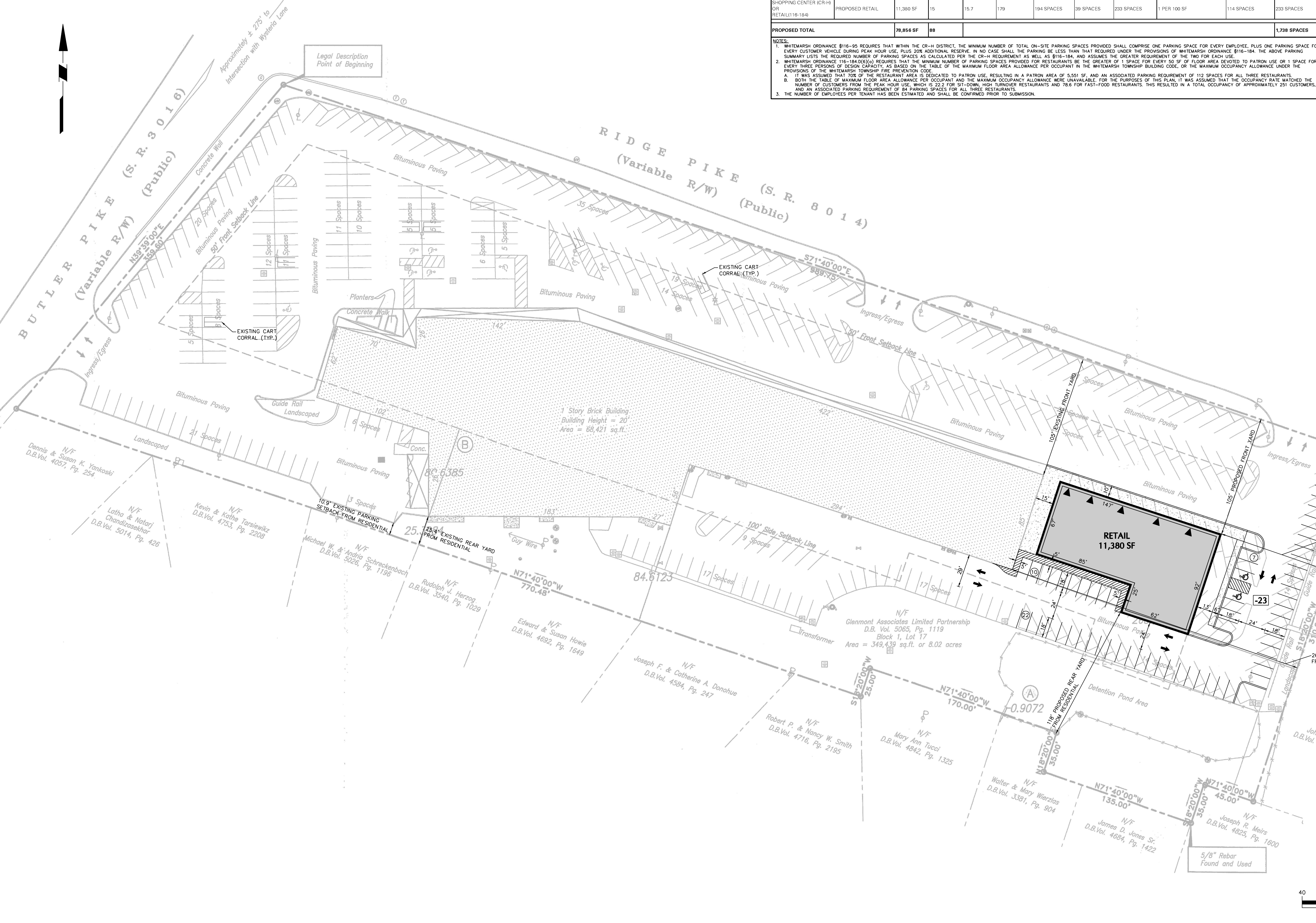
**PARKING SUMMARY**

USE	TENANT	AREA	EMPLOYEES	PEAK HOUR TRIP RATE	CUSTOMERS	CR-H REQUIREMENTS		116-184 REQUIREMENTS		PARKING SPACES REQUIRED
						REQUIREMENT SUB-TOTAL	20% INCREASE	TOTAL CR-H REQUIREMENT	REQUIRED RATIO	
SUPERMARKET	GIANT	39,699 SF	25	15.7	624	640 SPACES	130 SPACES	770 SPACES	1 PER 50 SF	794 SPACES
SHOPPING CENTER (CR-H) OR RETAIL(116-184)	WOLFBERG CARPETS	3,400 SF	2			2				
	MICHELE CLEANERS	1,700 SF	2			2				
	SUPERCUTS	1,700 SF	10	15.51	282	302 SPACES	61 SPACES	363 SPACES	1 PER 100 SF	363 SPACES
RESTAURANT (ST-DOWN)	THE FRAME SHOP	1,147 SF	2			2				
	WINE & SPIRITS	10,200 SF	2			2				
RESTAURANT (FAST FOOD)	TOTAL RETAIL	18,147 SF	20			20				
	ILLIANO'S PIZZA	7,700 SF	10	22.2	148	164 SPACES	33 SPACES	197 SPACES	1 PER 50 SF PATRON AREA OR 1 PER 3 PERSONS (2)	92 SPACES
MEDICAL OFFICE	STARBUCKS	4,930 SF	10			10				
	ATI PHYSICAL THERAPY	1,300 SF	6	78.6	103	109 SPACES	22 SPACES	131 SPACES	1 PER 50 SF PATRON AREA OR 1 PER 3 PERSONS (2)	131 SPACES
EXISTING TOTAL		67,476 SF	73							1,566 SPACES
PROPOSED TOTAL		78,856 SF	88							1,738 SPACES

- NOTES:**
- WHITEMARSH ORDINANCE §116-95 REQUIRES THAT WITHIN THE CR-H DISTRICT, THE MINIMUM NUMBER OF TOTAL ON-SITE PARKING SPACES PROVIDED SHALL COMPRISE ONE PARKING SPACE FOR EVERY EMPLOYEE, PLUS ONE PARKING SPACE FOR EVERY CUSTOMER VEHICLE DURING PEAK HOUR USE, PLUS 20% ADDITIONAL RESERVE. IN NO CASE SHALL THE PARKING BE LESS THAN THAT REQUIRED UNDER THE PROVISIONS OF WHITEMARSH ORDINANCE §116-184. THE ABOVE PARKING SUMMARY LISTS THE REQUIRED NUMBER OF PARKING SPACES AS CALCULATED PER THE CR-H REQUIREMENT AS WELL AS §116-184, AND ASSUMES THE GREATER REQUIREMENT OF THE TWO FOR EACH USE.
  - WHITEMARSH ORDINANCE §116-184(d)(6) REQUIRES THAT THE MINIMUM NUMBER OF PARKING SPACES PROVIDED FOR RESTAURANTS BE THE GREATER OF 1 SPACE FOR EVERY 50 SQ. FT. OF FLOOR AREA DEVOTED TO PATRON USE OR 1 SPACE FOR EVERY THREE PERSONS OF DESIGN CAPACITY, AS BASED ON THE TABLE OF THE MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT IN THE WHITEMARSH TOWNSHIP BUILDING CODE, OR THE MAXIMUM OCCUPANCY ALLOWANCE UNDER THE PROVISIONS OF THE WHITEMARSH TOWNSHIP FIRE PREVENTION CODE.
  - IT WAS ASSUMED THAT 70% OF THE RESTAURANT AREA IS DEDICATED TO PATRON USE, RESULTING IN A PATRON AREA OF 5,551 SF, AND AN ASSOCIATED PARKING REQUIREMENT OF 112 SPACES FOR ALL THREE RESTAURANTS.
  - BOTH THE TABLE OF MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT AND THE MAXIMUM OCCUPANCY ALLOWANCE WERE UNAVAILABLE FOR THE PURPOSES OF THIS PLAN. IT WAS ASSUMED THAT THE OCCUPANCY RATE MATCHED THE NUMBER OF CUSTOMERS FROM THE PEAK HOUR USE, WHICH IS 22.2 FOR ST-DOWN, HIGH TURNOVER RESTAURANTS AND 78.6 FOR FAST-FOOD RESTAURANTS. THIS RESULTED IN A TOTAL OCCUPANCY OF APPROXIMATELY 251 CUSTOMERS.
  - THE NUMBER OF EMPLOYEES PER TENANT HAS BEEN ESTIMATED AND SHALL BE CONFIRMED PRIOR TO SUBMISSION.

**WHITEMARSH SHOPPING CENTER  
WHITEMARSH TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA  
LAND USE AND DEVELOPMENT REGULATIONS**

ZONING DISTRICT DESIGNATION: COMMERCIAL, RETAIL - HIGH (CR-H)	PERMITTED/REQUIRED	EXISTING	PROPOSED
<b>SCHEDULE OF USE REGULATIONS</b>			
<b>PERMITTED USES:</b>	RETAIL STORES, SHOPS, BANKS, OFFICES (A)	SUPERMARKET, RETAIL DRY CLEANER, SALON	RETAIL
<b>AREA AND BULK REGULATIONS</b>			
MINIMUM LOT AREA	N/A	(B) 348,438 SF (602 AC)	348,438 SF (602 AC)
MINIMUM FRONT YARD SETBACK	50 FEET	105 FEET	105 FEET
MINIMUM SIDE YARD SETBACK	50 FEET	105 FEET	105 FEET
MINIMUM REAR YARD SETBACK	50 FEET	260 FEET	260 FEET
MINIMUM REAR YARD SETBACK (FROM RESIDENTIAL)	100 FEET	260 FEET	260 FEET
MINIMUM FRONT YARD PARKING SETBACK	50 FEET	0 FEET	0 FEET
MINIMUM PARKING SETBACK (FROM RESIDENTIAL)	50 FEET (C)	105 FEET	105 FEET (D)
MINIMUM BUILDING COVERAGE	40%	19.8%	22.8%
MINIMUM IMPERVIOUS COVERAGE	5%	81.4%	80.3%
MINIMUM GREEN SPACE AREA	35%	18.8%	35 FEET MAX (E)
MINIMUM BUILDING HEIGHT	35 FEET	35 FEET MAX	35 FEET MAX
<b>PARKING &amp; LOADING REGULATIONS</b>			
MINIMUM PARKING STALL DIMENSIONS (90° STALLS)	9 FEET x 18 FEET	9 FEET x 18 FEET	9 FEET x 18 FEET
MINIMUM PARKING DRIVE AISLE WIDTH (90° STALLS)	24 FEET	24 FEET	24 FEET
MINIMUM PARKING STALL DIMENSIONS (45° STALLS)	9 FEET x 19.09 FEET	9 FEET x 19.1 FEET	9 FEET x 19.1 FEET
MINIMUM PARKING DRIVE-WAY DRIVE AISLE WIDTH (45° STALLS)	13 FEET	13 FEET	13 FEET
MINIMUM PARKING TWO-WAY DRIVE AISLE WIDTH (45° STALLS)	18 FEET	22 FEET	22 FEET
MINIMUM PARKING SETBACK FROM ANY STRUCTURE	0 FEET	0 FEET	0 FEET (100)
MINIMUM REQUIRED OFF-STREET PARKING SPACES (F)			
<b>GREATER OF CR-H &amp; §116-184 REQUIREMENTS (G)</b>	1,738 SPACES	385 SPACES	362 SPACES
<b>MINIMUM NUMBER OF ADA ACCESSIBLE PARKING SPACES (H)</b>	8 SPACES	10 SPACES	11 SPACES (9)



- EXISTING ZONING NON-CONFORMANCES TO REMAIN:**
- WHITEMARSH ORDINANCE §116-95 REQUIRES THAT REAR YARDS HAVE A MINIMUM DEPTH OF 100 FEET FROM ANY RESIDENTIAL ZONE. THE SOUTHWEST CORNER OF THE EXISTING GIANT SUPERMARKET BUILDING IS 25.4 FEET FROM THE REAR PROPERTY LINE. THE PROPOSED IMPROVEMENTS WILL BE SETBACK A MINIMUM OF 118 FEET FROM THE REAR PROPERTY LINE.
  - WHITEMARSH ORDINANCE §116-95 REQUIRES THAT FRONT YARDS HAVE A MINIMUM DEPTH OF 30 FEET, AND THAT NO PARKING BE PERMITTED ON THE REQUIRED FRONT YARD. THE EXISTING PARKING FIELD PROVIDES A FRONT YARD PARKING SETBACK OF APPROXIMATELY 9 FEET ALONG BOTH SIDES OF THE BUILDING. THIS IS AN EXISTING NON-CONFORMITY WHICH WILL NOT BE AFFECTED BY THE PROPOSED IMPROVEMENTS.
  - WHITEMARSH ORDINANCE §116-95 REQUIRES THAT NO PARKING BE PERMITTED WITHIN 50 FEET OF ANY RESIDENTIAL ZONE. THE EXISTING PARKING FIELD NEAR THE SOUTHWEST CORNER OF THE EXISTING GIANT SUPERMARKET BUILDING PROVIDES A PARKING SETBACK OF APPROXIMATELY 10.8 FEET. THIS IS AN EXISTING NON-CONFORMITY WHICH WILL NOT BE AFFECTED BY THE PROPOSED IMPROVEMENTS. ADDITIONALLY, THE EXISTING PARKING FIELD ALONG THE EASTERN PROPERTY LINE PROVIDES A PARKING SETBACK OF APPROXIMATELY 10 FEET. THE PROPOSED IMPROVEMENTS INCLUDE THE RESTRICTION OF EXISTING PARKING SPACES TO PERPENDICULAR SPACES. THE PROPOSED IMPROVEMENTS IN THIS AREA MAINTAIN THIS EXISTING NON-CONFORMITY.
- EXISTING DESIGN STANDARDS NON-CONFORMANCES TO REMAIN:**
- WHITEMARSH ORDINANCE §116-31 REQUIRES THAT NO MORE THAN 10 PARKING SPACES BE PERMITTED IN A CONTINUOUS ROW WITHOUT BEING INTERRUPTED BY A LANDSCAPING AREA NOT LESS THAN THE WIDTH OF A PARKING SPACE. THE EXISTING PARKING FIELD DOES NOT PROVIDE THE REQUIRED LANDSCAPING AREA. THIS IS AN EXISTING NON-CONFORMITY WHICH WILL NOT BE AFFECTED BY THE PROPOSED IMPROVEMENTS. ADDITIONALLY, THE PROPOSED IMPROVEMENTS INCLUDE THE RESTRICTION OF EXISTING ANGLED PARKING SPACES TO BECOME PERPENDICULAR SPACES IN THE EASTERN AND SOUTHWESTER PORTIONS OF THE SITE. THE EXISTING ANGLED PARKING SPACES DO NOT PROVIDE THE REQUIRED LANDSCAPING AREA AND THE PROPOSED IMPROVEMENTS WILL MAINTAIN THIS EXISTING NON-CONFORMITY.
  - WHITEMARSH ORDINANCE §116-38.1 REQUIRES THAT NO ONE AREA FOR OFF-STREET PARKING EXCEED 30 CARS IN CAPACITY, AND THAT SEPARATE AREAS OR A PARCEL SHALL BE PHYSICALLY SEPARATED FROM ONE ANOTHER BY TEN-FEET-WIDE PLANNING STRIPS. THE EXISTING PARKING FIELD CONTAINS AREAS THAT EXCEED 30 PARKING SPACES, AND SAID AREAS ARE NOT SEPARATED BY THE REQUIRED PLANNING STRIPS. THIS IS AN EXISTING NON-CONFORMITY WHICH WILL NOT BE AFFECTED BY THE PROPOSED IMPROVEMENTS.
  - WHITEMARSH ORDINANCE §116-38.2 REQUIRES THAT RAISED PEDESTRIAN CROSSWALKS AND REFUGE ISLANDS BE PROVIDED AT INTERVALS NOT EXCEEDING 200 FEET ALONG THE LENGTH OF EACH PARKING AREA. THE EXISTING PARKING FIELD DOES NOT PROVIDE THE REQUIRED RAISED CROSSWALKS. THIS IS AN EXISTING NON-CONFORMITY WHICH WILL NOT BE AFFECTED BY THE PROPOSED IMPROVEMENTS. ADDITIONALLY, THE PROPOSED IMPROVEMENTS INCLUDE EXTENDING THE SIDEWALK ALONG THE BUILDING FRONTAGE WITHOUT THE ADDITION OF EXISTING PEDESTRIAN CROSSWALKS, WHICH WILL MAINTAIN THE EXISTING NON-CONFORMITY.
  - WHITEMARSH ORDINANCE §116-38.3 REQUIRES THAT A MINIMUM OF 10% OF ANY PARKING LOT FACILITY OVER 1,000 SQUARE FEET IN GROSS AREA BE DEVOTED TO LANDSCAPING. THE EXISTING PARKING FIELD DOES NOT PROVIDE THE REQUIRED LANDSCAPING. THIS IS AN EXISTING NON-CONFORMITY WHICH WILL NOT BE AFFECTED BY THE PROPOSED IMPROVEMENTS. ADDITIONALLY, THE PROPOSED IMPROVEMENTS WILL INCLUDE ADDITIONAL LANDSCAPING WITHIN THE PROPOSED RECONFIGURED PARKING AREA, BUT THE OVERALL PARKING AREA WILL STILL CONTAIN LESS THAN THE 10% MINIMUM LANDSCAPING REQUIRED AND MAINTAIN THE EXISTING NON-CONFORMITY.
- VARIANCES REQUESTED:**
- WHITEMARSH ORDINANCE §116-95 REQUIRES THAT THE MAXIMUM IMPERVIOUS COVER NOT EXCEED 80% OF THE TOTAL LOT AREA, AND THAT EACH LOT HAVE A MINIMUM GREEN SPACE AREA OF 30%. THE EXISTING SITE PROVIDES AN IMPERVIOUS COVERAGE OF APPROXIMATELY 81.4% AND A GREEN SPACE AREA OF 18.8%. THIS IS AN EXISTING NON-CONFORMITY. THE PROPOSED IMPROVEMENTS OVER THE EXISTING CONDITION. A VARIANCE IS REQUESTED TO ALLOW FOR AN IMPERVIOUS COVERAGE OF 80.3% AND A GREEN SPACE AREA OF 19.8%.
  - WHITEMARSH ORDINANCE §116-95 REQUIRES THAT THE MINIMUM NUMBER OF PARKING SPACES PROVIDED BE THE GREATER BETWEEN THE REQUIREMENTS OF §116-95 AND §116-184. THE EXISTING SITE PROVIDES 385 PARKING SPACES, WHERE 1,566 SPACES ARE REQUIRED, WHICH IS AN EXISTING NON-CONFORMITY. THE PROPOSED IMPROVEMENTS RESULT IN A LOSS OF 23 PARKING SPACES FOR A NEW OVERALL TOTAL REQUIREMENT OF 1,738 SPACES AND A LOSS OF 362 PARKING SPACES. A VARIANCE IS REQUESTED TO ALLOW FOR A LOSS OF 23 PARKING SPACES FOR A NEW OVERALL TOTAL REQUIREMENT OF 1,738 SPACES. A VARIANCE IS REQUESTED TO ALLOW FOR A LOSS OF 362 PARKING SPACES FOR A NEW OVERALL TOTAL REQUIREMENT OF 1,738 SPACES.
  - WHITEMARSH ORDINANCE §116-95 REQUIRES THAT PARKING AREAS BE LOCATED AT LEAST 10 FEET FROM ANY BUILDING OR STRUCTURE. THE EXISTING PARKING FIELD NEAR THE SOUTHWEST CORNER OF THE EXISTING GIANT SUPERMARKET BUILDING PROVIDES PARKING SPACES LOCATED ADJACENT TO THE BUILDING (0 FEET). THIS IS AN EXISTING NON-CONFORMITY WHICH WILL NOT BE AFFECTED BY THE PROPOSED IMPROVEMENTS. ADDITIONALLY, THE PROPOSED PARKING FIELD ALONG THE SOUTHERN BUILDING WALL OF THE PROPOSED SUPERMARKET PROVIDES PARKING SPACES 5 FEET FROM THE BUILDING WALL. A VARIANCE IS REQUESTED TO ALLOW FOR A PARKING SETBACK FROM BUILDING WALLS TO BE 0 FEET.

**ALL EXISTING AND PROPOSED ZONING STATISTICS ARE BASED ON A PDF SURVEY PLAN AND ARE APPROXIMATE. ACTUAL DIMENSIONS AND OTHER CALCULATIONS MAY VARY FROM EXISTING FIELD CONDITIONS.**

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 Conductor/Team as Langan

Project  
**WHITEMARSH SHOPPING CENTER**  
 WHITEMARSH TOWNSHIP  
 MONTGOMERY COUNTY  
 PENNSYLVANIA  
 Drawing Title  
**CONCEPT PLAN**  
 Project No. **220076701** Drawing No.  
 Date **12 MAY 2016**  
 Scale **1"=40'**  
 Drawn By **SRQ** Checked By **BMC**  
 Submission Date

